

DEPARTMENT MEMORANDUM

DATE: MARCH 17, 2022
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 545 LONG ACRES LANE
COMMUNITY DESIGN AND CONCEPT STORMWATER MANAGEMENT PLAN
REVIEW

PETITIONER
Harry Freeman
Freeman Homes

PROPERTY OWNER
Freeman Homes

STAFF SUMMARY

PRIMARY ISSUE FOR THIS ITEM BEING ON NEW BUSINESS AS OPPOSED TO CONSENT IS DUE TO EXTERIOR MATERIAL FINISH (LACK OF BRICK)

1. **DESCRIPTION:** Petition for a new single-family home.
2. **SUBDIVISION.** Proposed home is part of a new subdivision (Birdie Lane) currently under construction. The subdivision developer, Petitioner, owns and controls the lots and serves as the approver of all architecture.
3. **ZONING:** The lot is zoned SR Single Family Residential and fully complies with the SR District lot standards.
4. **SITE PLAN REVIEW:** None required.
5. **COMMUNITY DESIGN REVIEW:**
 - Massing. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 17 of the Olivette Residential Redevelopment and Design Guidelines.
 - Roofs. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 18 of the Olivette Residential Redevelopment and Design Guidelines.
 - Garages. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 19 of the Olivette Residential Redevelopment and Design Guidelines.
 - Elevation articulation. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 20 of the Olivette Residential Redevelopment and Design Guidelines.
 - Materials. The exterior finish for the front building elevation consists of "Cement Board Lap Siding".

What Is HardiePlank Home Siding?
HardiePlank siding is a combination of cellulose fibers and cement-based materials. It comes in long horizontal strips.

In accordance with Page 21 of the Olivette Residential Redevelopment and Design Guidelines, street elevations should consist of no less than 50% brick, stone, or other similar masonry. Siding, including wood or aggregate substitutes such as hardi-plank, or restoration grade vinyl profiles may be acceptable. The Code does not require the use of masonry on an elevation, but the **Guidelines** recommend brick as a material of choice. Staff forwards the is petition as a new business item for discussion and direction on compliance.
 - Site grading and foundation. The top of foundation (675.0) exceeds that approved for the subdivision Site Improvement Plans. The top of foundation may not exceed 674.7 per the civil plans prepared by The Sterling Co, dated 06/30/2021.
 - Stormwater management. This section is further reviewed below.
 - Tree Preservation. There are no visible staff concerns.

6. CONCEPT STORMWATER MANAGEMENT PLAN:

- The lot is part of a designed Subdivision Improvement Plan which exempts on-site lot storage of stormwater per Ordinance #2728 which amended §422.080 allowing for Site Plan Review exceptions:

B. Exceptions. The following exceptions may be authorized through Site Plan Review:

1. The volume design requirement may be exempted for the initial construction of a new single-family home when on-site detention is provided for the subdivision as a whole, subject to the following conditions:
 - a. The Final Subdivision Plat shall include:
 - A minimum 10-foot wide easement for all ground surface swales and underground pipes that direct stormwater from lot to lot and onto the subdivision detention system.
 - The square foot area of the average house footprint utilized in calculating the size of the stormwater detention system.
 - b. Subdivision indentures shall include language regarding the preservation and maintenance of the stormwater easement.
 - c. In the event a new home exceeds the average size house footprint identified in subparagraph (a) above, stormwater detention for the excess square footage on said lot shall be provided.

The Site Plan submitted illustrates the 10-foot easement, the subdivision indentures include language regarding the easement and average home size.

- Sump pump discharge. The location of the sump pump is at the northeast corner of the home behind the garage. The location of the sump pump discharge is not illustrated. Given the location of the sump pump on the west side of the garage driveway turnaround, staff recommends the point of discharge should be directed west and not perpendicular to the adjacent property at 553 Long Acres.

ATTACHMENTS:

- Staff Report
- Project Report
- Petition Application

MOTION:

Should the Commission consider action on the petition, the following motion is recommended:

Motion to approve the Petition for:

- Community Design and Concept Stormwater Management Plan Review

for a new single-family home at 545 Long Acres Lane as presented in the Memorandum from the Department of Planning and Community Development dated March 17, 2022, subject to any staff conditions noted therein.

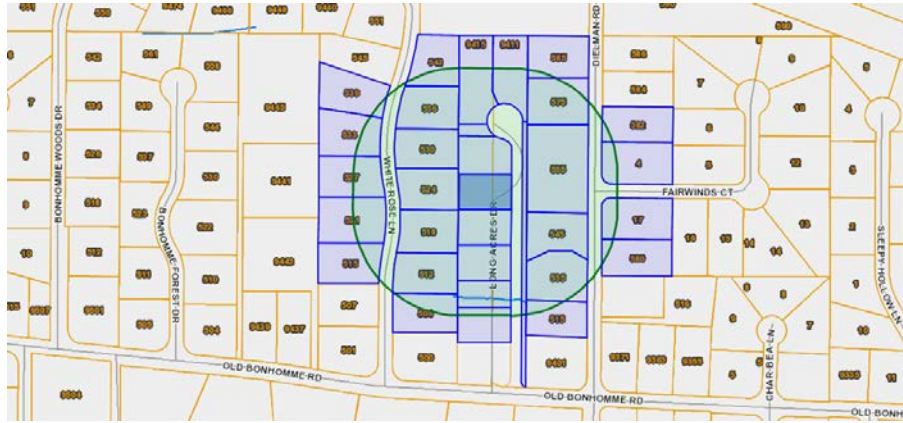
RECOMMENDED CONDITIONS FOR APPROVAL:

Should the Commission consider approving the petition as submitted, the following conditions are recommended as part of any action:

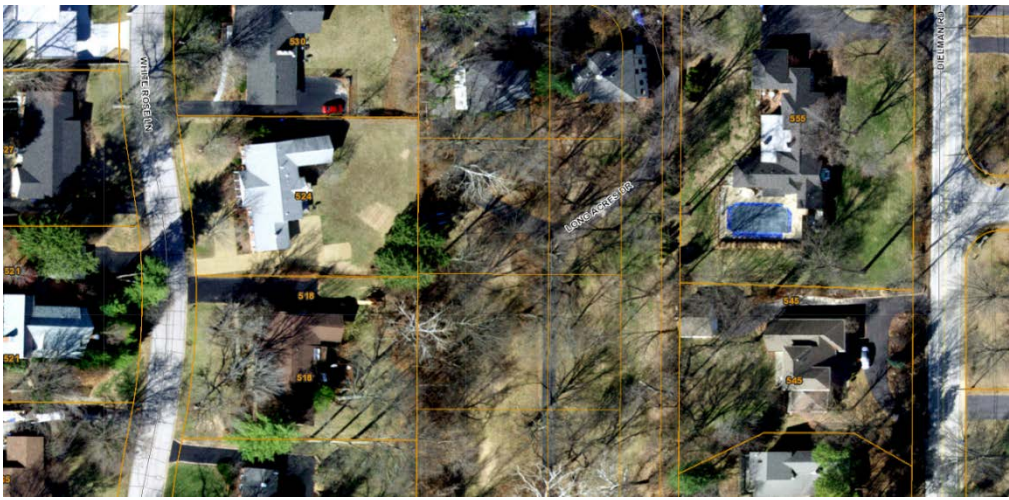
1. Top of foundation is limited to 674.7 per the approved Site Improvement Plans for the Birdie Lane Subdivision.
2. For the sump pump, the point of discharge should be directed west and not perpendicular to the adjacent property at 553 Long Acres.
3. **FINAL STORMWATER SITE IMPROVEMENT PLAN.** At the time of application for a building permit, the Petitioner shall submit a final Stormwater Site Improvement Plan for review. Final site improvements to include construction specifications for Stormwater detention and grading plan. Fees shall be paid for required inspections by the City's Stormwater Consultant. Cost per inspection is \$250. Additional inspections shall be conducted by staff.
4. **LIMITATION OF TOP OF FOUNDATION.** The top of foundation elevation be limited to no more than 674.7. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation and location of detention areas, as necessary to control/limit Stormwater runoff on the site and to adjacent properties. Any revised changes in the field to provide revised plans while building permits are active.
5. **FINAL PLAN SUBMISSION.** Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of:
 - architectural plans provided by Levine Associates with a plan issue date of 2/14/2022, and
 - site improvement plans provided by Vance Engineering, Inc., with a plan date of 3/11/2022subject to any required modifications noted herein.

6. **VERIFICATION OF SETBACKS.** Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
7. **LIMIT EXPOSED FOUNDATION.** Any exposed portions of the foundation wall along Long Acres Lane and the north and south side building elevations in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

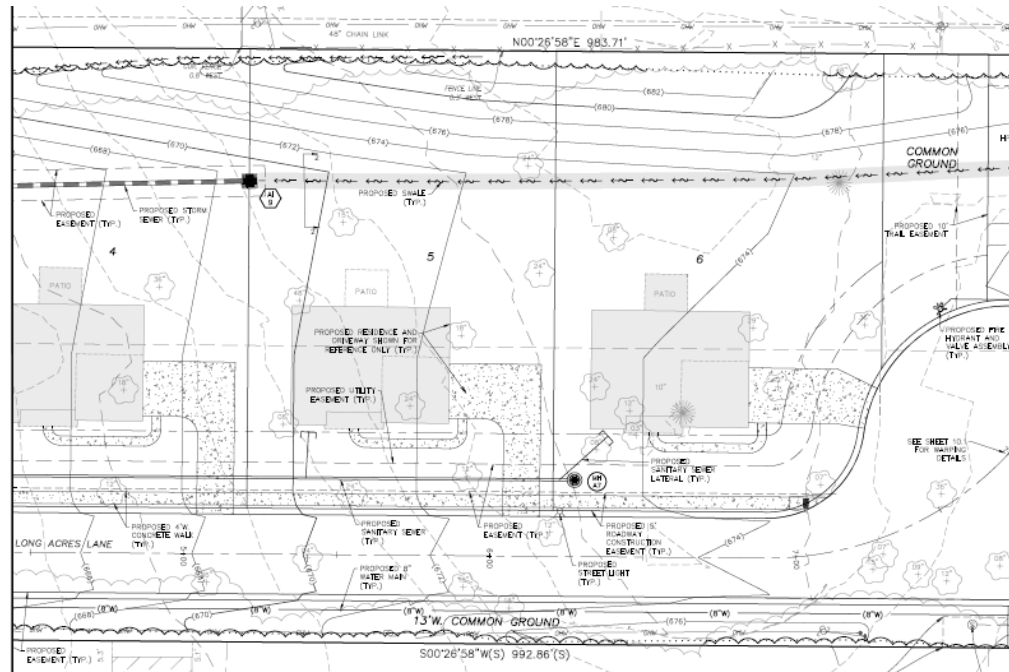
LOCATION MAP



AERIAL VIEW



SUBDIVISION IMPROVEMENT PLAN



pd 2-15-2022 CK# 5445 - 71 150-00



City of Olivette
Department of Planning & Community Development
1140 Dielman Road
Olivette, MO 63132
www.olivette-mo.com
(314) 993-0252 (Office)

P2022-0008
INV 1447

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties. Petitions for new single family homes not meeting full submission requirements shall only qualify for the 30-day schedule once the submission requirements are provided on plans.

Name and Title: Hary Freeman

Company Name: Freeman Homes

Address: 950 Francis Place, Ste 107 City: Clayton Zip Code: 63105

E-mail Address: hfreeman@freemanstl.com Phone Number: (314) 725-3100

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

REVIEW AND FEE

This petition is for which of the following? (Check the box and see corresponding fee)

Community Design Review	Fee	Site Plan & Community Design Review	Fee
Single Family Home (SWR- \$350, CD-\$250)	\$600	Single Family Home (SWR-\$350, SPR-\$150, CDR-\$250)	\$750 X
Addition/Acc. Str. 400 sf. or less	\$150	Addition/Acc. Str. 400 sf. or less (SPR-\$150, CDR-\$150)	\$300
Addition/Acc. Str. excess 400 sf. less than 1,200 sf.	\$200	Addition/Acc. Str. excess 400 sf. less than 1,200 sf. (SPR-\$150, CDR-\$200)	\$350
Addition/Acc. Str. 1,200 or greater	\$250	Addition/Acc. Str. 1,200 or greater (SPR-\$150, CDR-\$250)	\$400
Amendments	\$100	Site Plan Only (including Fences, Variances)	\$150

PROPERTY INFORMATION

Address of Property: 545 Long Acres Lane, Olivette, MO 63132

St. Louis County Tax ID No. 27-0310089 Being

Legal Description of Property: A tract of land being lot 5 of Birdie Lane City of Olivette St. Mo

OWNERSHIP (If applicant is not the owner): Olivette St. Mo

Name of Owner: Same as above

Mailing Address: _____ City: _____ Zip Code: _____

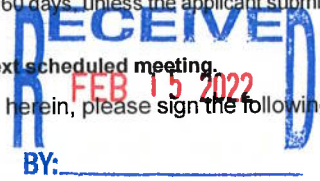
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:



BY: _____

[Signature]
Signature of applicant

2-15-2022
Date

545 Long Acres Lane Project Report:

The existing homes in Olivette are a mixture of traditional 2 story, 1.5 story, and ranch homes. Freeman Homes has designed a 2 story, a 1.5 story, and a ranch option to be built on Long Acres Lane. The homes fit within the current building standards of Olivette regarding height and size. The planned homes are traditional in design and will be constructed of the highest quality materials thus complimenting and blending in with the existing homes in the area. Freeman Homes will use any means necessary to eliminate any adverse effects on grading and storm-water drainage on adjacent and surrounding properties.

545 Long Acres Lane is a ranch home with a covered entry and a covered rear patio. It will have pearl gray (or similar) vinyl siding and shaker accents in slate gray (or similar). The roof will be an asphalt shingle in Moire Black CertainTeed with all trim and gutters to be white. The front door will be in Sherwin Williams Marea Baja. The vinyl shutters will be in Sherwin Williams Marea Baja.