

DEPARTMENT MEMORANDUM

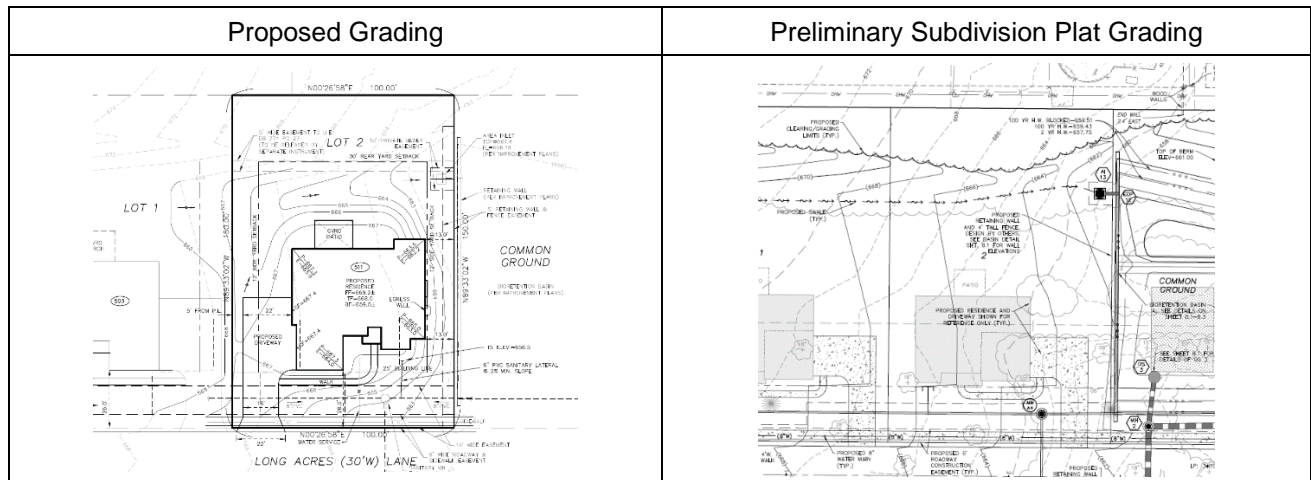
DATE: MARCH 17, 2022
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 511 LONG ACRES LANE
COMMUNITY DESIGN AND CONCEPT STORMWATER MANAGEMENT PLAN
REVIEW

PETITIONER
Harry Freeman
Freeman Homes, LLC

PROPERTY OWNER
Freeman Homes, LLC

STAFF SUMMARY

1. **DESCRIPTION:** Petition for a new single-family home.
2. **SUBDIVISION.** Proposed home is part of a new subdivision (Birdie Lane) currently under construction. The subdivision developer, Petitioner, owns and controls the lots and serves as the approver of all architecture.
3. **ZONING:** The lot is zoned SR Single Family Residential and fully complies with the SR District lot standards.
4. **SITE PLAN REVIEW:** None required.
5. **COMMUNITY DESIGN REVIEW:**
 - Massing. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 17 of the Olivette Residential Redevelopment and Design Guidelines.
 - Roofs. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 18 of the Olivette Residential Redevelopment and Design Guidelines..
 - Garages. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 19 of the Olivette Residential Redevelopment and Design Guidelines.
 - Elevation articulation. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 20 of the Olivette Residential Redevelopment and Design Guidelines.
 - Materials. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 21 of the Olivette Residential Redevelopment and Design Guidelines.
 - Site grading and foundation. Top of foundation is a foot higher than the approved Subdivision Improvement Plans and thus cannot exceed an elevation of 667.0.
 - Stormwater management. In review of the plan set, there proposed stormwater on the site grounds is managed in accordance with the approved Preliminary Subdivision Plat.
 - Tree Preservation. Consistent with approved Preliminary Subdivision Plat.
6. **GRADING.** Notice that the placement of the garage on the lot is flipped. Staff has no objection to the change, HOWEVER, this may be what is impacting the top of foundation elevation deviation. The Developer's governing Subdivision Improvement Plans are prepared by Sterling Engineers and Surveyors. The Developer would need to engage with Sterling to facilitate this change. The City cannot be held responsible for this deviation. Overall the remaining grading concept is consistent with the approved Preliminary Subdivision Plat.



7. CHAPTER 422 CONCEPT STORMWATER MANAGEMENT:

- The lot is part of a designed Subdivision Improvement Plan which exempts on-site lot storage of stormwater per Ordinance #2728 which amended §422.080 allowing for Site Plan Review exceptions:
 - B. Exceptions. The following exceptions may be authorized through Site Plan Review:
 1. The volume design requirement may be exempted for the initial construction of a new single-family home when on-site detention is provided for the subdivision as a whole, subject to the following conditions:
 - a. The Final Subdivision Plat shall include:
 - A minimum 10-foot wide easement for all ground surface swales and underground pipes that direct stormwater from lot to lot and onto the subdivision detention system.
 - The square foot area of the average house footprint utilized in calculating the size of the stormwater detention system.
 - b. Subdivision indentures shall include language regarding the preservation and maintenance of the stormwater easement.
 - c. In the event a new home exceeds the average size house footprint identified in subparagraph (a) above, stormwater detention for the excess square footage on said lot shall be provided.
- The building footprint does not exceed the average authorized for the on-site detention.

ATTACHMENTS:

- Staff Report
- Petition application
- Project report

MOTION:

Should the Commission consider action on the petition, the following motion is recommended:

Motion to approve the Petition for:

- Community Design and Concept Stormwater Management Plan Review

for a new single-family home at 511 Long Acres Lane as presented in the Memorandum from the Department of Planning and Community Development dated March 17, 2022, subject to any staff conditions noted therein.

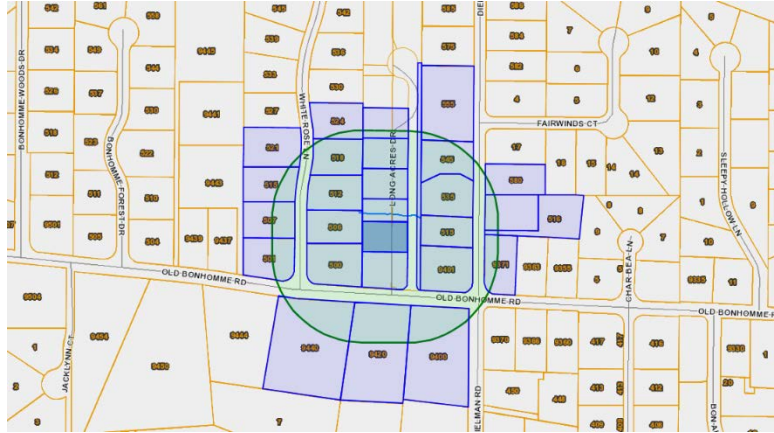
RECOMMENDED CONDITIONS FOR APPROVAL:

Should the Commission consider approving the petition as submitted, the following conditions are recommended as part of any action:

1. Top of foundation is limited to 667.0 per the approved Site Improvement Plans for the Birdie Lane Subdivision.
2. The sump pump discharge must be directed to the west portion of the REAR YARD.
3. **FINAL STORMWATER SITE IMPROVEMENT PLAN.** At the time of application for a building permit, the Petitioner shall submit a final Stormwater Site Improvement Plan for review. Final site improvements to include construction specifications for Stormwater detention and grading plan. Fees shall be paid for required inspections by the City's Stormwater Consultant. Cost per inspection is \$250. Additional inspections shall be conducted by staff.

4. **LIMITATION OF TOP OF FOUNDATION.** The top of foundation elevation be limited to no more than 667.0 per the approved Subdivision Improvement Plans. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation and location of detention areas, as necessary to control/limit Stormwater runoff on the site and to adjacent properties. Any revised changes in the field to provide revised plans while building permits are active.
5. **FINAL PLAN SUBMISSION.** Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of:
 - architectural plans provided by Levine Associates with a revision plan date of 2/14/2022, and
 - conceptual layout as illustrated in the site improvement plans provided by Vance Engineering, Inc., with a plan date of 2/14/2022, with the top of foundation and grading constructed in accordance with the approved Subdivision Improvement Plans.subject to any required modifications noted herein.
6. **VERIFICATION OF SETBACKS.** Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
7. **LIMIT EXPOSED FOUNDATION.** Any exposed portions of the foundation wall along Long Acres Lane and the north and south side building elevations in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

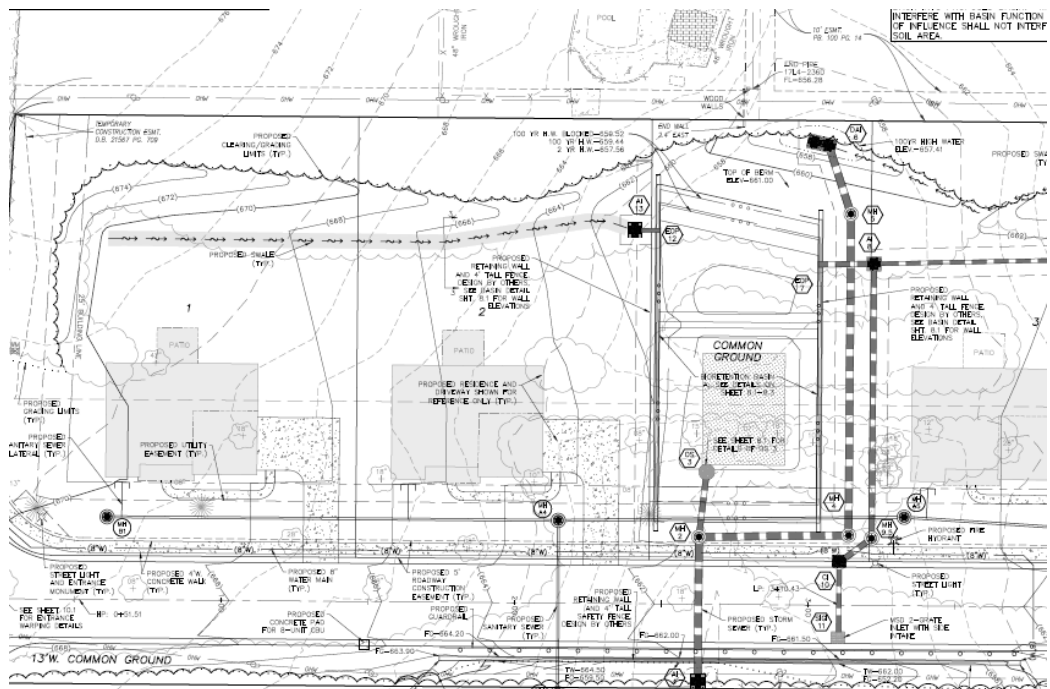
LOCATION MAP



AERIAL VIEW



SUBDIVISION IMPROVEMENT PLAN





City of Olivette
 Department of Planning & Community Development
 1140 Dielman Road
 Olivette, MO 63132
www.olivettemo.com
 (314) 993-0252 (Office)

pd 2-15-2022 CK #3496-#150.00
PERMIT PL 2022-0007
INV 1446

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties. Petitions for new single family homes not meeting full submission requirements shall only qualify for the 30-day schedule once the submission requirements are provided on plans.

Name and Title: Harry Freeman
 Company Name: Freeman Homes
 Address: 950 Francis Place, Ste 107 City: Clayton Zip Code: 63105
 E-mail Address: hfreeman@freemanstl.com Phone Number: (314) 725-3100

As the applicant, which of the following apply:

- Developer Contractor Owner
 Registered Engineer Registered Architect Licensed Surveyor

REVIEW AND FEE

This petition is for which of the following? (Check the box and see corresponding fee)

Community Design Review		Fee		Site Plan & Community Design Review		Fee	
Single Family Home (SWR- \$350, CD-\$250)		\$600		Single Family Home (SWR-\$350, SPR-\$150, CDR-\$250)		\$750	X
Addition/Acc. Str. 400 sf. or less		\$150		Addition/Acc. Str. 400 sf. or less (SPR-\$150, CDR-\$150)		\$300	
Addition/Acc. Str. excess 400 sf. less than 1,200 sf.		\$200		Addition/Acc. Str. excess 400 sf. less than 1,200 sf. (SPR-\$150, CDR-\$200)		\$350	
Addition/Acc. Str. 1,200 or greater		\$250		Addition/Acc. Str. 1,200 or greater (SPR-\$150, CDR-\$250)		\$400	
Amendments		\$100		Site Plan Only (including Fences, Variances)		\$150	

PROPERTY INFORMATION

Address of Property: 511 Long Acres Lane, Olivette, MO 63132
 St. Louis County Tax ID No. 27-0310089
 Legal Description of Property: tract of land being lot 2 of Birdie Lane city of Olivette, St Louis county, mo
OWNERSHIP (if applicant is not the owner):
 Name of Owner: same as above
 Mailing Address: _____ City: _____ Zip Code: _____
 Phone Number: () E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

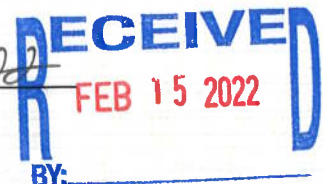
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

 Signature of applicant

2-15-2022
 Date



511 Long Acres Lane Project Report:

The existing homes in Olivette are a mixture of traditional 2 story, 1.5 story, and ranch homes. Freeman Homes has designed a 2 story, a 1.5 story, and a ranch option to be built on Long Acres Lane. The homes fit within the current building standards of Olivette regarding height and size. The planned homes are traditional in design and will be constructed of the highest quality materials thus complimenting and blending in with the existing homes in the area. Freeman Homes will use any means necessary to eliminate any adverse effects on grading and storm-water drainage on adjacent and surrounding properties.

511 Long Acres Lane is a 1.5 story home with a covered entry and a covered rear patio. The front elevation will have St. Louis red brick and white vinyl lap and shaker siding. The roof will be an asphalt shingle in Cinder Black CertainTeed with all trim and gutters to be white. The front door will be in Sherwin Williams Iron Ore black. The vinyl shutters will be black.