



City of Olivette
Planning and Community Development Department
1140 Dielman Road
Olivette, MO 63132
(314) 993-0252 (Office)
www.olivettemo.com

DEPARTMENT MEMORANDUM

DATE: MARCH 17, 2022
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 10 FORSYTHIA LANE
COMMUNITY DESIGN AND CONCEPT STORMWATER MANAGEMENT PLAN
REVIEW

PETITIONER
Venkat R
Fortune Tree, LLC

PROPERTY OWNER
Fortune Tree, LLC

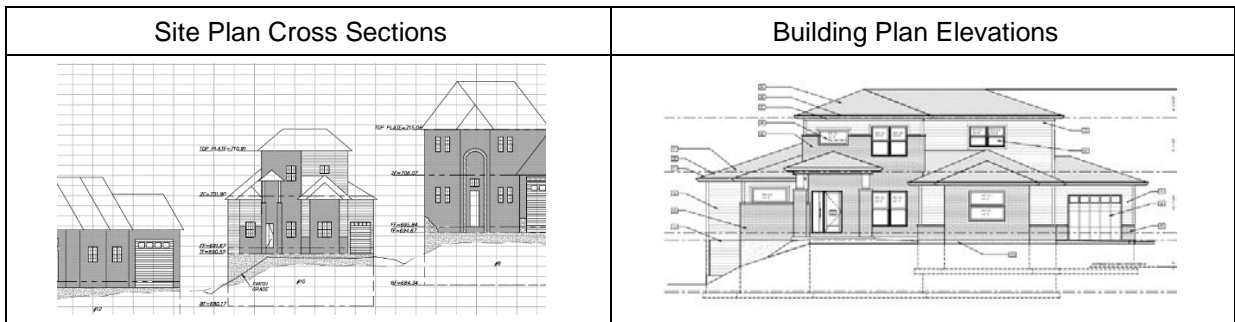
STAFF SUMMARY

1. **DESCRIPTION:** Petition for a new single-family home.
2. **SUBDIVISION.** Forsythia Lane is part of the Warson View Subdivision, and said street is private. Given that the street and right-of-way are private, the City does not have authority to issue permits involving excavations within the right-of-way until the subdivision review and approval is granted. This includes utility work and the driveway apron. The Petitioner has worked with the subdivision representatives and has received necessary consents (attached) to continue.
3. **ZONING:** Legal lot of record. Conforms with the SR Single Family Residential District minimum lot standards, thus no Site Plan Review required.
4. **SITE PLAN REVIEW:** None required.
5. **COMMUNITY DESIGN REVIEW:**

- Massing. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 17 of the Olivette Residential Redevelopment and Design Guidelines.
- Roofs. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 18 of the Olivette Residential Redevelopment and Design Guidelines.
- Garages. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 19 of the Olivette Residential Redevelopment and Design Guidelines.
- Elevation articulation. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 20 of the Olivette Residential Redevelopment and Design Guidelines.
- Materials. It is the opinion of staff that the proposed residence complies with the design guidance illustrated under Page 21 of the Olivette Residential Redevelopment and Design Guidelines.
- Site grading and foundation. The former home had a top of foundation of 687.7. This was roughly 2-foot lower than the street elevation at the northwest corner of the lot. Most top of foundations are kept above the street for drainage purposes.

The proposed top of foundation is 690.5, roughly 2.8 feet higher than the former home. The top of foundations for the adjacent properties are 694.8 on the west and 684 on the east. Staff does not find the proposed top of foundation out of line with the design guidelines or with the streetscape.

FORMER HOME REAR ENTRY GARAGE. It is important to note that the previous home had a rear entry basement garage from the east side lot line. This is noted to emphasize how quickly the grades on the lot fall and the amount of foundation that will be above grade. This is best illustrated in the site plan cross sections and building elevations.



- Stormwater management. This section is further reviewed below.
- Tree Preservation. Several trees within the buildable area are proposed for removal.

6. CONCEPT STORMWATER MANAGEMENT PLAN:

- This lot fully drains to the rear yard (south). Staff does not find any notable visual deficiencies in the civil engineer’s proposed grading plan.
- Sump pump discharge. The building plans identify the sump pump location on the east side of the home. The site plans do not illustrate where the discharge will be located. Staff request that the discharge be piped underground at least 20-feet south of the building footprint to minimize impact to the adjacent neighbor’s rear yard area.

ATTACHMENTS:

- Staff Report
- Project Report
- Petition Application
- Subdivision email.

MOTION:

Should the Commission consider action on the petition, the following motion is recommended:

Motion to approve the Petition for:

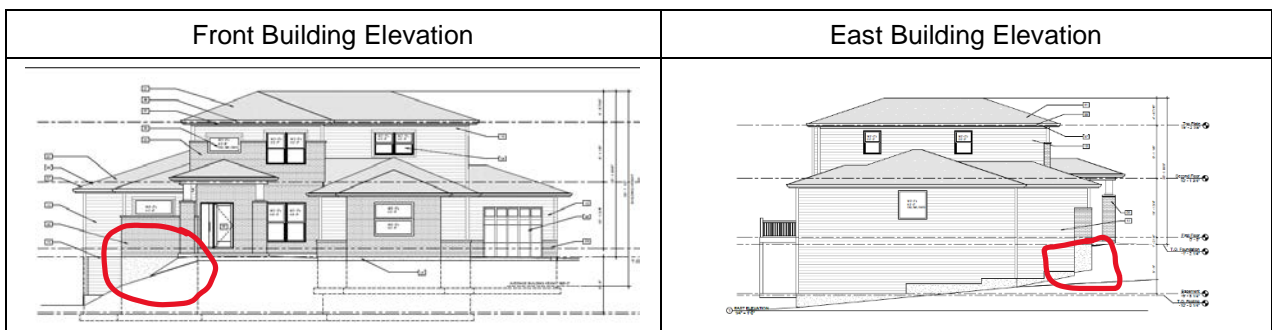
- Community Design and Concept Stormwater Management Plan Review

for a new single-family home at 10 Forsythia Lane as presented in the Memorandum from the Department of Planning and Community Development dated March 17, 2022, subject to any staff conditions noted therein.

RECOMMENDED CONDITIONS FOR APPROVAL:

Should the Commission consider approving the petition as submitted, the following conditions are recommended as part of any action:

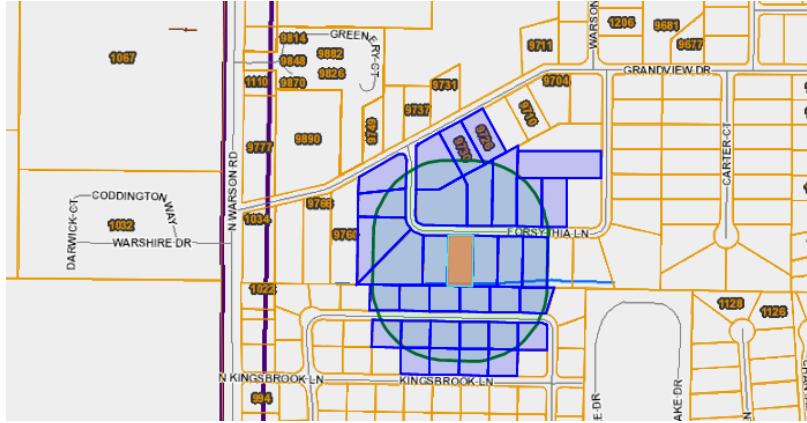
1. Provide a construction parking/traffic mitigation plan. Must include how concrete and material deliveries will be coordinated.
2. **Building elevations.** The exposed sections of the foundation wall on the front elevation and east building elevations, as illustrated in the red circles below, must be concealed (covered) with the exterior finish illustrated above each section.



3. that the discharge be piped underground at least 20-feet south of the building footprint to minimize impact to the adjacent neighbor’s rear yard area.

4. **FINAL STORMWATER SITE IMPROVEMENT PLAN.** At the time of application for a building permit, the Petitioner shall submit a final Stormwater Site Improvement Plan for review. Final site improvements to include construction specifications for Stormwater detention and grading plan. Fees shall be paid for required inspections by the City's Stormwater Consultant. Cost per inspection is \$250. Additional inspections shall be conducted by staff.
5. **LIMITATION OF TOP OF FOUNDATION.** The top of foundation elevation be limited to no more than 690.5. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation and location of detention areas, as necessary to control/limit Stormwater runoff on the site and to adjacent properties. Any revised changes in the field to provide revised plans while building permits are active.
6. **FINAL PLAN SUBMISSION.** Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of:
 - architectural plans provided by Osnova Architecture with a plan date of 2/15/2022, and
 - site improvement plans provided by THD Design Group, Inc. with a plan date of 2/15/2022subject to any required modifications noted herein.
7. **VERIFICATION OF SETBACKS.** Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
8. **LIMIT EXPOSED FOUNDATION.** Any exposed portions of the foundation wall along Forsythia Lane and the east and west side building elevations in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

LOCATION MAP



PL 2-15-2022 CH #122 - 150.00

PL 2022-0005
INV 1444

Olivette

...in the center of it all

City of Olivette
Department of Planning & Community Development
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APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties. Petitions for new single family homes not meeting full submission requirements shall only qualify for the 30-day schedule once the submission requirements are provided on plans.

Name and Title: Venkat. R (Owner)
Company Name: Fortune Tree LLC
Address: P O Box 16541 City: Saint Louis Zip Code: 63105
E-mail Address: vkhomesllcmo@gmail.com Phone Number: (314) 465 5484

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

REVIEW AND FEE

This petition is for which of the following? (Check the box and see corresponding fee)

Community Design Review		Fee	Site Plan & Community Design Review		Fee
<input checked="" type="checkbox"/> Single Family Home (SWR- \$350, CD-\$250)		\$600	<input checked="" type="checkbox"/> Single Family Home (SWR-\$350, SPR-\$150, CDR-\$250)		\$750
Addition/Acc. Str. 400 sf. or less		\$150	Addition/Acc. Str. 400 sf. or less (SPR-\$150, CDR-\$150)		\$300
Addition/Acc. Str. excess 400 sf. less than 1,200 sf.		\$200	Addition/Acc. Str. excess 400 sf. less than 1,200 sf. (SPR-\$150, CDR-\$200)		\$350
Addition/Acc. Str. 1,200 or greater		\$250	Addition/Acc. Str. 1,200 or greater (SPR-\$150, CDR-\$250)		\$400
Amendments		\$100	Site Plan Only (including Fences, Variances)		\$150

PROPERTY INFORMATION

Address of Property: 10 Forsythia Ln, Olivette, MO 63132
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____



The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Signature of applicant

2/15/2022
Date



February 15, 2022

Project Report

Prepared for City of Olivette

Re: 10 Forsythia Lane, Olivette MO, 63132

Question 1:

An explanation on how the mass, size and bulk of the new home is compatible with the prevailing mass, size and bulk of adjacent and surround detached residences.

Answer:

The proposed house is a story and a half structure with hip roofs at each neighbor sides. Massing of principal structure and attached garage are similar to other newer developments along the street.

Question 2:

An explanation on how the height of the new home is compatible with the prevailing height of adjacent and surrounding detached residences.

Answer 2:

The height of this design is 29'-7" to the highest ridge. That height is higher than immediately adjacent homes but within city of Olivette allowable height limit and comparable to other homes on the street.

Question 3:

An explanation on what architectural features of the new home are intended to compliment the architectural characteristics of adjacent and surround detached residences.

Answer 3:

Existing homes are fairly simple single story ranch with brick and siding façades. Proposed home is a contemporary traditional with same material palette. Intent is to match color and tone of the adjacent homes.

Question 4:

An explanation on the efforts that will be incorporated on the site development to eliminate any adverse affect on grading and storm water drainage on the adjacent and surrounding properties.

Answer 4:

Lot we will be maintaining the existing drainage patterns as much as possible with drainage to rear of the lot.

Pavel Ivanchuk

Architect, ICC

A handwritten signature in black ink, appearing to read "Pavel Ivanchuk", written over the printed name and title.

From: [tom mckenzie](#)
To: [Carlos Trejo](#)
Cc: [Jessica Koczan Sub #2](#); [Brian Kauling Sub 34](#)
Subject: #10 Forsythia Lane
Date: Thursday, March 3, 2022 3:43:20 PM

Mr. Trejo,

A majority the trustees of Warson View Subdivision #1 (Forsythia Lane) have met with the owner / contractor of #10 Forsythia Lane and we approve his plans for new construction on that property.

Peace

Tom McKenzie
Warson View Subdivision #1
Trustee / Secretary

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