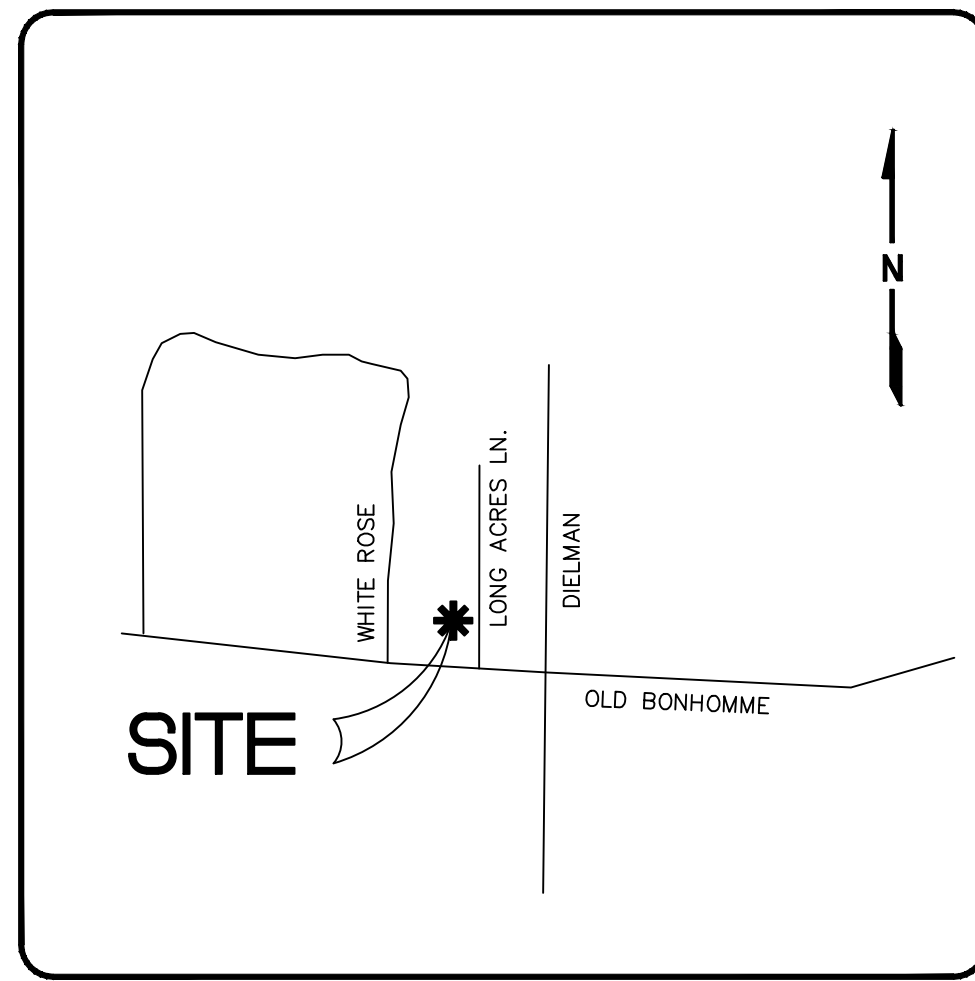


PLOT PLAN

#511 LONG ACRES LANE

A TRACT OF LAND BEING LOT 2 OF "BIRDIE LANE",
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI



LOCATION MAP
N.T.S.

PROPERTY INFO TABLE

LOT AREA:	15,000 S.F.
PERMITTED SITE COVERAGE:	3,750 S.F.
PERMITTED RESIDENTIAL FLOOR AREA:	4,500 S.F.
LOT WIDTH:	100.00 FT.
LOT DEPTH:	150.00 FT.
FRONT YARD SETBACK:	25.0 FT.
SIDE YARD SETBACK:	12.0 FT.
REAR YARD SETBACK:	30.0 FT.

BUILDING FOOTPRINT:	2,794 S.F.
FRONT PORCH/DRIVEWAY/PATIOS/WALKS:	1,647 S.F.
TOTAL PROPOSED IMPERVIOUS AREA:	4,441 S.F.

YARD REQUIREMENTS

MINIMUM PER SR ZONING
FRONT: 25'
SIDE: 12' (12% LOT WIDTH)
REAR: 30' (20% LOT DEPTH)

STORM WATER MANAGEMENT

STORM WATER MANAGEMENT HANDLED BY COMMON DETENTION BASIN
CONSTRUCTED AS PART OF THE "BIRDIE LANE" SUBDIVISION IMPROVEMENTS.

FLOOR AREA RATIO

PROPOSED FIRST FLOOR	= 2,110 S.F. ±
PROPOSED SECOND FLOOR	= 1,278 S.F. ±
TOTAL	= 3,388 S.F. ±

3,388 / 15,000 S.F. = 0.23
(THE GREATER OF 0.30 OR 3,500 S.F. ALLOWED)

LOT COVERAGE

PROPOSED BUILDING FOOTPRINT (EXCLUDING FRONT PORCH) = 2,794 S.F.

2,794 / 15,000 S.F. = 18.6%
(THE GREATER OF 25% OR 2,500 S.F. ALLOWED)

PROJECT DATA

ADDRESS : 511 LONG ACRES LANE
OLIVETTE, MO 63132
OWNER : FREEMAN HOMES LLC
AREA OF TRACT : 0.344 Ac.± (15,000 S.F.)
PRESENT ZONING : SR - SINGLE FAMILY RESIDENTIAL
PRESENT USAGE : VACANT
PROPOSED USAGE : SINGLE FAMILY RESIDENCE
SCHOOL DISTRICT : LADUE
FIRE DISTRICT : OLIVETTE
WATERSHED(S) : RIVER DES PERES
FIRM PANEL : 29189C0192K
UTILITIES : MISSOURI-AMERICAN WATER COMPANY
METROPOLITAN ST. LOUIS SEWER DISTRICT
SPIRE GAS COMPANY
AT&T TELEPHONE COMPANY

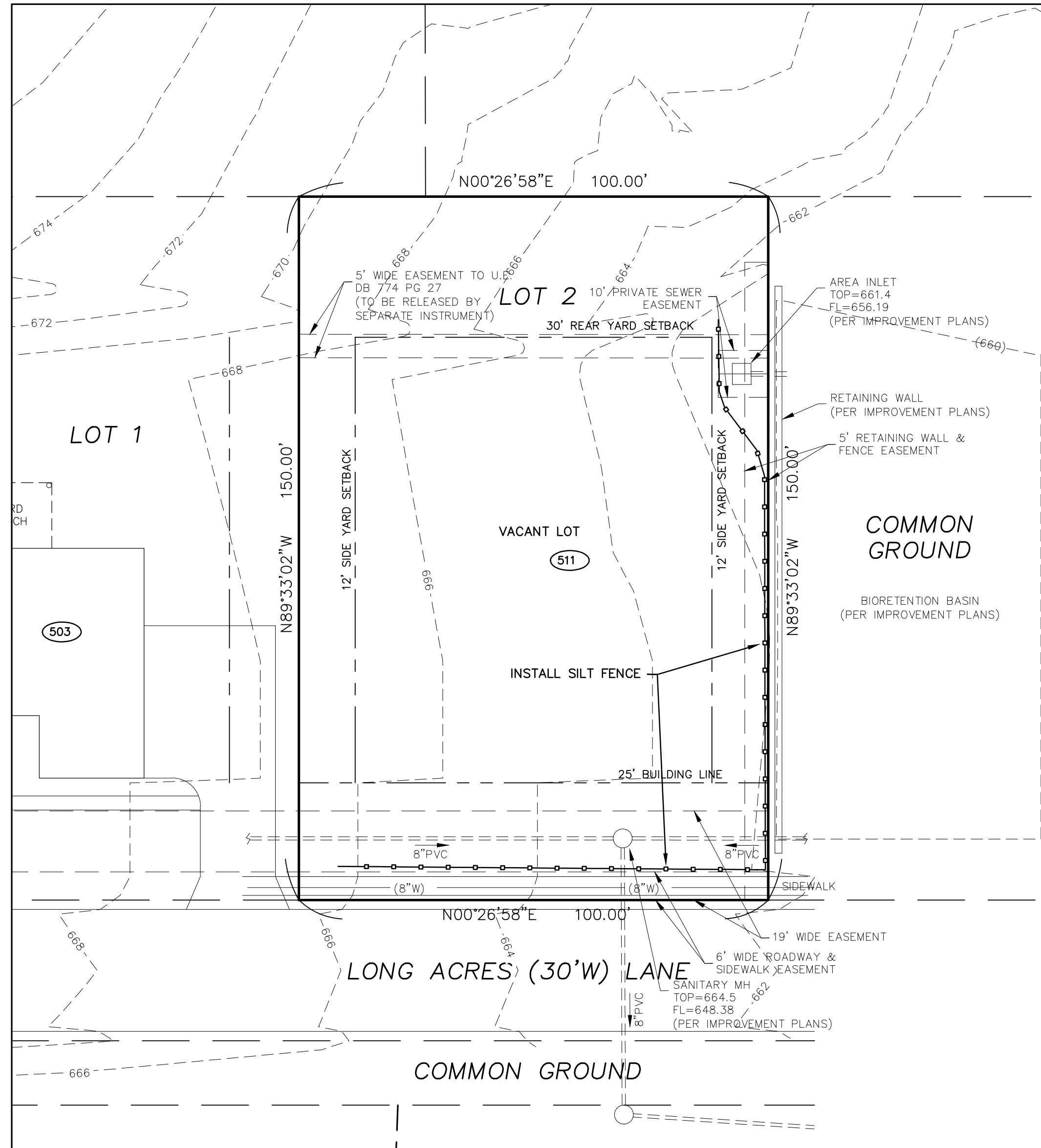
LEGEND

DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	---504---
PROPOSED MINOR CONTOUR	---502---
PROPOSED SPOT ELEVATION	x 502.00
EXISTING SANITARY SEWER	---○---
EXISTING STORM SEWER	---□---
PROPOSED SANITARY SEWER	---●---
PROPOSED STORM SEWER	---■---
EXISTING WATERLINE	---W---
EXISTING FIRE HYDRANT	---●---
EXISTING GAS LINE	---G---
EXISTING OVERHEAD UTILITY	---OW---
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

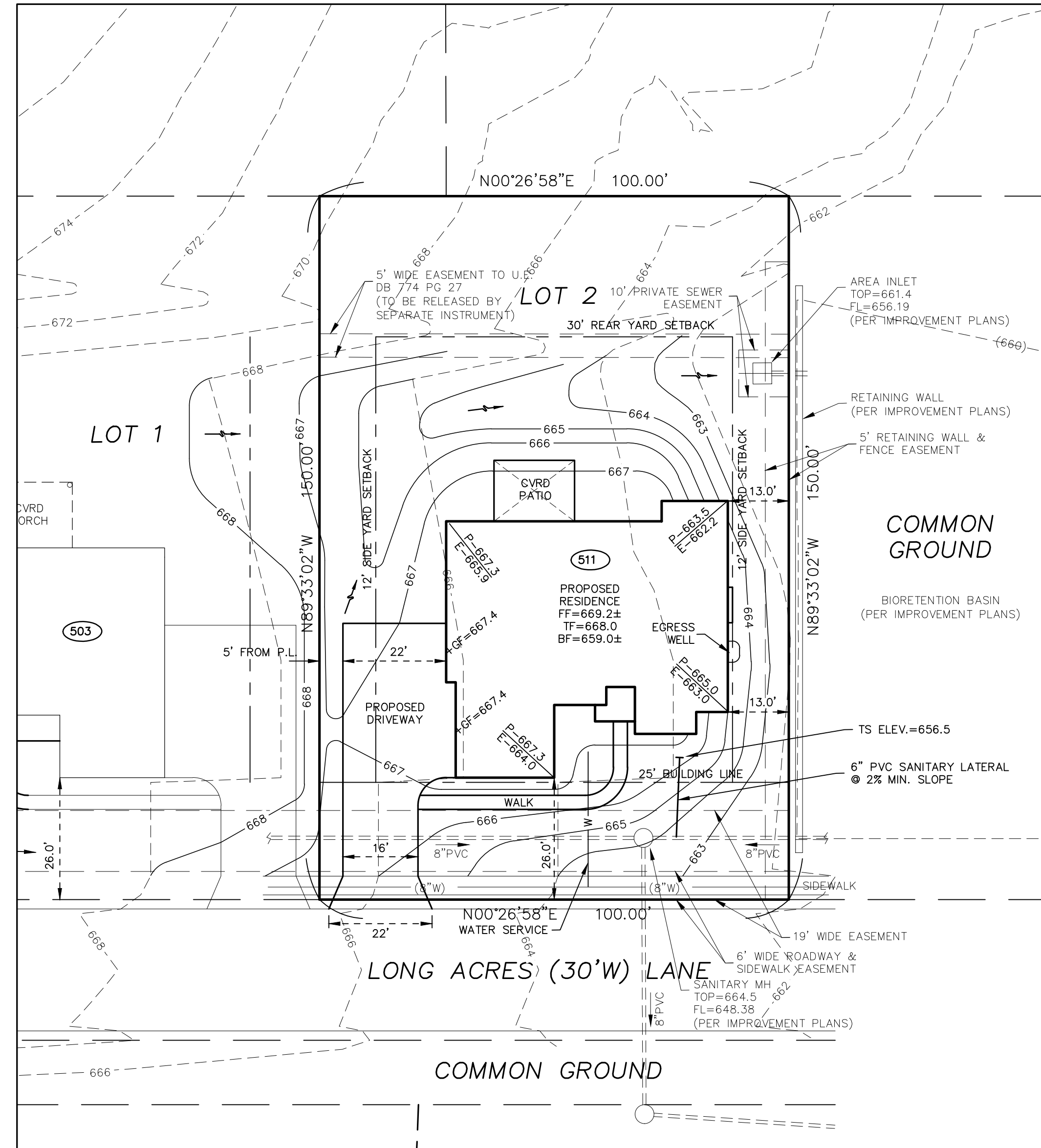
FF = FINISHED FLOOR ELEVATION
TF = TOP OF FOUNDATION ELEVATION
BF = BASEMENT FLOOR ELEVATION
GF = GARAGE FLOOR ELEVATION
DS = DOWNSPOUT
CO = CLEAN OUT
P-595.0 = PROPOSED ELEVATION
E-595.0 = EXISTING ELEVATION

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION PER PLANS FOR "BIRDIE LANE" PREPARED BY THE STERLING COMPANY.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF THE CITY OF OLIVETTE, MSD, AND MODNR.
- SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- SANITARY SEWERS TO MEET THE CITY OF OLIVETTE AND M.S.D. STANDARDS ON SITE.
- ALL UTILITY SERVICES SHALL BE UNDERGROUND.
- UTILITY INFORMATION PER SURVEY PROVIDED AND AVAILABLE RECORDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF OLIVETTE STANDARDS.
- THE FINISHED GRADE LEVEL AT THE BUILDING TO BE MINIMUM OF 6" BELOW TOP OF FOUNDATION FOR MASONRY AND 8" FOR FRAME AND BRICK VENEER.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET (OR TO PROPERTY LINE IF LESS THAN 8 FEET) MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- ALL GRADING SHALL CONFORM TO THE APPROVED GRADING PLAN.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED SO AS TO MAINTAIN A 2"6" DEPTH OF EARTH COVER OR AS REQUIRED BY THE LOCAL BUILDING CODES.
- BUILDING DIMENSIONS ARE TO BE VERIFIED WITH ARCHITECT PRIOR TO EXCAVATION OR CONSTRUCTION.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR BOUNDARY SURVEYS."
- ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009
- CONTRACTOR IS TO COORDINATE/VERIFY ALL ELEVATIONS WITH TOP OF FOUNDATION ELEVATION.



EXISTING CONDITIONS

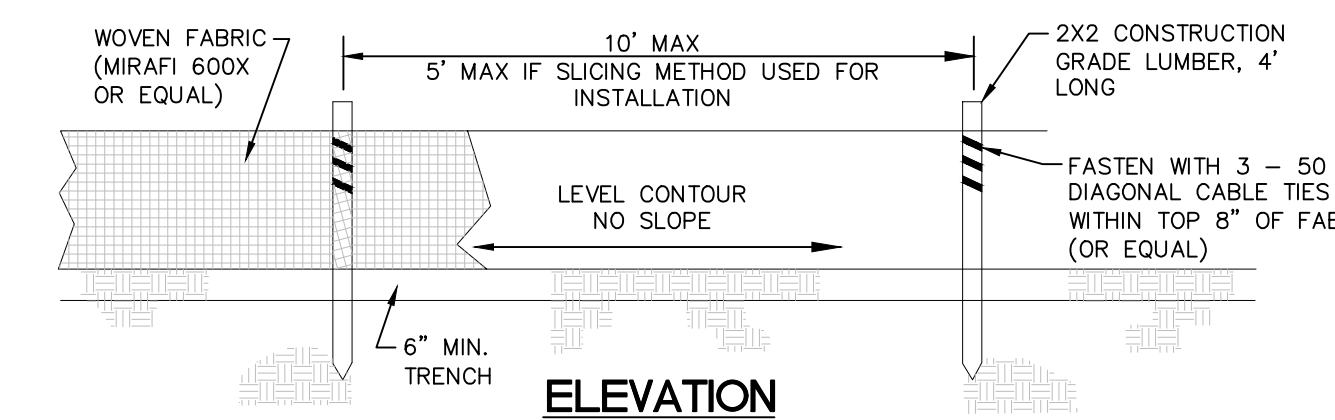


PROPOSED CONDITIONS

SITE BENCHMARK

ST. LOUIS COUNTY BENCHMARK #14514
NAVD88(SLC2011a) ELEV = 656.55 Ft

CUT 1" ON THE SOUTHEAST CORNER OF A 4' X 8' CONCRETE PAD FOR A LOW LIGHTED "WALGREENS" SIGN WITH MASONRY BASE IN A LAWN AREA AT #9395 OLIVE BOULEVARD, ROUGHLY 59 FEET NORTH OF CENTERLINE OF OLIVE BLVD. AND 174 FEET EAST OF CENTERLINE OF DIELMAN ROAD.



ELEVATION

SPACING ALONG SLOPES

3:1 SLOPES	30' FENCE TO FENCE
3:1 TO 10:1 SLOPES	50' FENCE TO FENCE
SLOPES <10%	100' FENCE TO FENCE

- NOTES:
- SEE PLAN FOR INITIAL INSTALLATION LOCATION.
 - INSTALL SILT FENCE PRIOR TO DISTURBANCE OF NATURAL VEGETATION.
 - INSPECT & MAINTAIN FENCE AFTER EVERY RAINSTORM OR MINIMUM 2 WEEK INTERVALS DURING DRY PERIODS.
 - SILT IS TO BE REMOVED WHEN DEPTH ALONG FENCE REACHES 12" OR 1/2 THE FENCE HEIGHT.
 - STABILIZE ANY AREAS SUSCEPTIBLE TO UNDERMINING AS SOON AS THEY ARE NOTICED.
 - EXTEND/ADD FENCE AS NECESSARY TO MAINTAIN/PROVIDE ADEQUATE PROTECTION.
 - UPON ESTABLISHMENT OF ADEQUATE VEGETATION, REMOVE FENCE, REGRADE AND VEGETATE TRENCH AREAS.

SECTION

NOTE: IF FABRIC IS INSTALLED BY EQUIPMENT DESIGNED TO SLICE INTO THE GROUND, THE TRENCH IS NOT NEEDED

SILT FENCE

N.T.S.

NOTICE TO CONTRACTOR

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN. TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY/FACILITY OWNER; AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

BEFORE YOU
DIG - DRILL - BLAST
1-800-344-7483
(TOLL FREE)
MISSOURI ONE CALL SYSTEM, INC.

511 LONG ACRES LANE

PLOT PLAN

PRELIMINARY

MICHAEL CLAY VANCE, P.E.
E-25616
REVISED

21127

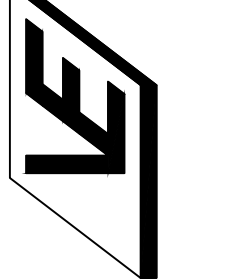
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Vance Engineering, Inc.
10537 Lackland Road
St. Louis, MO 63114
P: 314.427.1800



VANCE ENGINEERING, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194