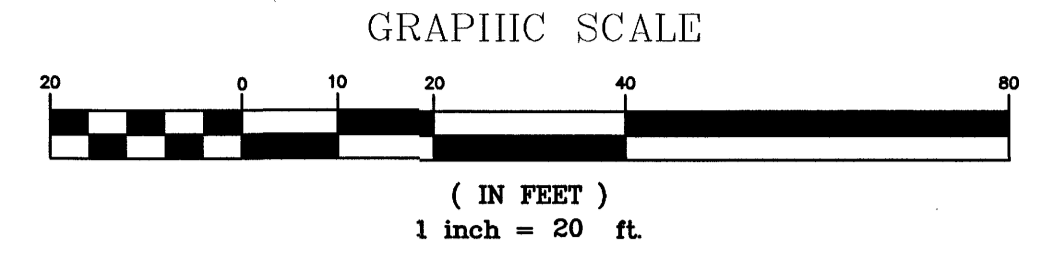


A TRACT OF LAND BEING LOT 7 OF HEATHER HILL FIRST ADDITION (P.B. 52, PG. 38),  
 LOCATED IN THE SOUTHWEST 1/4 OF SECTION 6 TOWNSHIP 45 NORTH, RANGE 6 EAST,  
 CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI



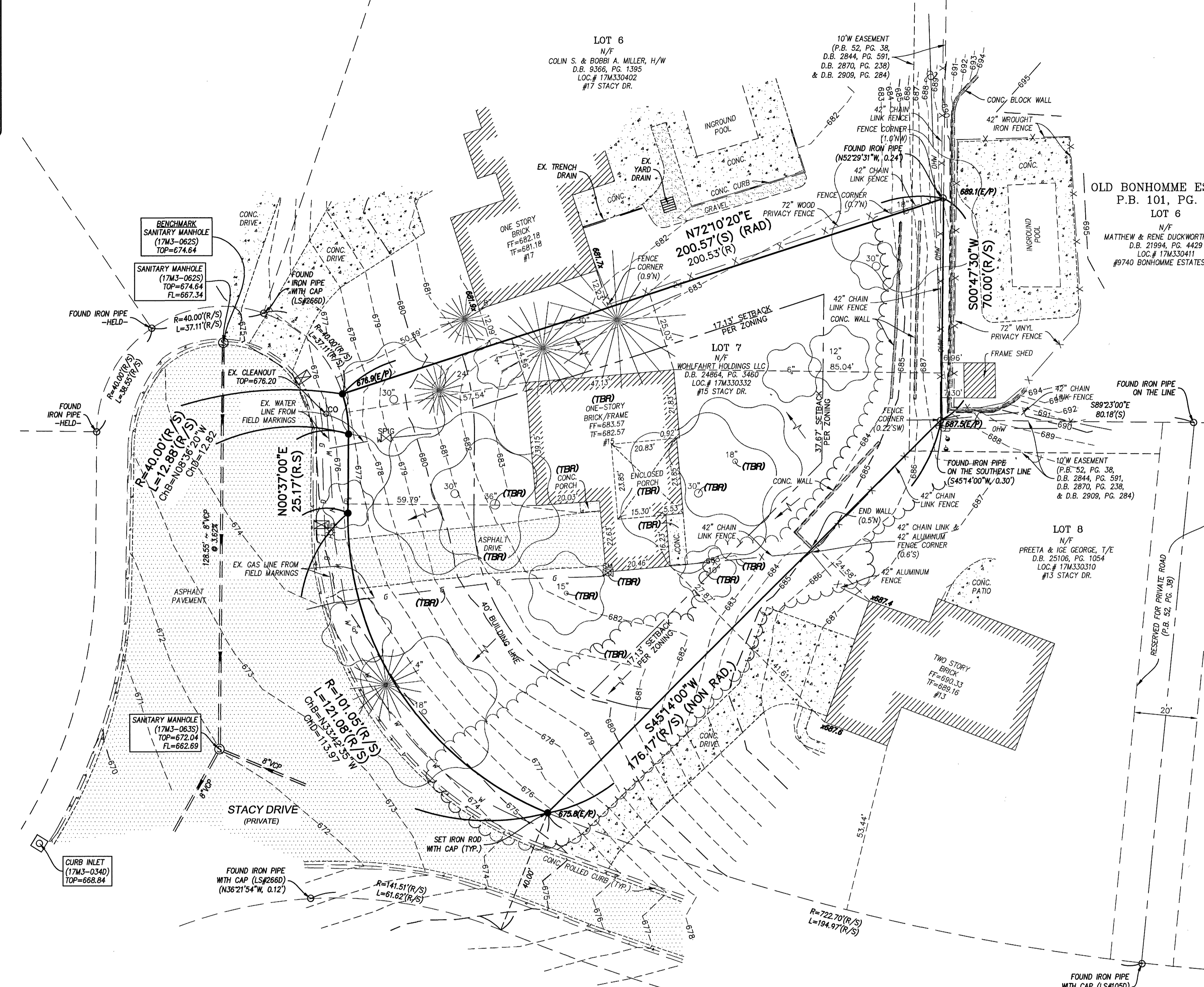
LOCATION MAP  
 N.T.S.

ABBREVIATIONS:

- CONC. - CONCRETE
- N/F - NOW OR FORMERLY
- P.B. - PLAT BOOK
- D.B. - DEED BOOK
- PG. - PAGE
- SQ. FT. - SQUARE FEET
- (R) - RECORD
- (S) - SURVEY
- RAD. - RADIAL
- FF - FINISH FLOOR
- TF - TOP FOUNDATION
- BF - BASEMENT FLOOR
- UIP - USE IN PLACE
- TBR - TO BE REMOVED

LEGEND:

- TREE LINE
- - - FENCE LINE
- - - UNDERGROUND CATV LINE
- - - UNDERGROUND ELECTRIC LINE
- - - UNDERGROUND WATER LINE
- - - UNDERGROUND TELEPHONE LINE
- - - UNDERGROUND GAS LINE
- - - OVERHEAD ELECTRIC
- - - OVERHEAD WIRE
- - - UNDERGROUND SEWER LINE
- ▭ BUILDING
- LIGHT STANDARD
- YARD LIGHT
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- UTILITY POLE W/ TRANSFORMER
- GUY WIRE
- WATER SPIGOT
- ELECTRIC METER
- WATER METER
- GAS METER
- WATER VALVE
- GAS VALVE
- GAS DRIP
- ELECTRIC BOX
- CABLE TV BOX
- TELEPHONE BOX
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- STREET/ROAD SIGN
- MISC. POLE/POST
- PARCEL TIE (SAME OWNER)
- FIRE HYDRANT
- MAIL BOX
- A/C UNIT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM MANHOLE
- CURB INLET / AREA INLET
- GRATE MANHOLE
- GRATE INLET
- BUSH/SHRUB
- TREE
- DENOTES PERMANENT MONUMENT TO BE PLACED UPON COMPLETION OF GRADING AND ROADWAY IMPROVEMENTS 5/8" X 24" REBAR WITH METAL CAP STAMPED LS 307-D.
- DENOTES SEMI-PERMANENT MONUMENT.
- FOUND IRON PIPE
- CONC. MON./STONE
- CROSS
- CROSS WITH ANCHOR
- ▭ CONC. PAVEMENT
- ▭ ASPHALT PAVEMENT
- ▭ BRICK PAVERS
- ▭ GRAVEL



SITE INFO:

N/F WOHLFAHRT HOLDINGS LLC  
 D.B. 24864, PG. 3460  
 LOC. # 17M330332  
 #15 STACY DR.  
 21,425 SQ.FT. OR 0.492 AC.±

ZONING INFO:

"SR" SINGLE FAMILY RESIDENTIAL  
 FRONT: 40' PER RECORD PLAT  
 REAR: (20%) OF LOT DEPTH = 188.37' X 20% = 37.67'  
 SIDE: (12% OF LOT WIDTH = 142.79' X 12% = 17.13'  
 (LOT WIDTH IS MORE THAN 60')  
 HEIGHT: 35'  
 FLOOR AREA RATIO: 0.25 OR 6,000 SQ.FT., WHICHEVER IS GREATER  
 (20,000 SQ.FT. OR GREATER LOT)  
 LOT COVERAGE: 20% OR 5,000 SQ.FT., WHICHEVER IS GREATER.  
 (20,000 SQ.FT. OR GREATER LOT)

SURVEYOR'S NOTES

1. THIS TRACT CONTAINS 21,425 SQUARE FEET OR 0.492 ACRES, MORE OR LESS.
2. BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "HEATHER HILL FIRST ADDITION" AS RECORDED IN PLAT BOOK 52 PAGE 38 OF THE ST. LOUIS COUNTY RECORDS.
3. SOURCE OF RECORD TITLE: DEED TO WOHLFAHRT HOLDINGS LLC AS RECORDED IN DEED BOOK 24864, PAGE 3460 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
4. BEARINGS AND DISTANCES ARE RECORDED AND SURVEYED UNLESS NOTED OTHERWISE.
5. THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE RELATES.

TITLE NOTES

- FOR EASEMENTS, THE STERLING COMPANY HAS USED, EXCLUSIVELY, A TITLE COMMITMENT BY INVESTORS TITLE COMPANY, AGENT FOR WESTCOAST LAND TITLE INSURANCE COMPANY, WITH FILE NUMBER 700160 WITH AN EFFECTIVE DATE OF APRIL 21, 2021, 12:50 PM. THE NOTES REGARDING SCHEDULE B, PART II OF ABOVE COMMITMENT ARE AS FOLLOWS:
- ITEMS 1-4: GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.
- ITEM 5: BUILDING LINES, EASEMENTS, RESTRICTIONS OR OTHER MATTERS AFFECTING THE SUBJECT PROPERTY ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 52 PAGE 38.
- BUILDING LINES & EASEMENTS PER PLAT BOOK 52 PAGE 38 ARE SHOWN HEREON. ADDITIONAL BUILDING LINES PER CURRENT ZONING ARE SHOWN HEREON.
- ITEM 6: BUILDING LINES, EASEMENTS, CONDITIONS, RESTRICTIONS, RIGHTS AND POWERS OF TRUSTEES, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, ACCORDING TO INSTRUMENT RECORDED IN BOOK 2884 PAGE 324, AMENDED BY INSTRUMENTS RECORDED IN BOOK 2911 PAGE 114, BOOK 2993 PAGE 289, BOOK 3304 PAGE 1671, BOOK 10602 PAGE 879 AND BOOK 13598 PAGE 8206. CONTAINS NO REVERSIONARY CLAUSE.
- BOOK 2884 PAGE 324 IS THE RESTRICTION INDENTURE OF HEATHER HILL FIRST ADDITION AND AFFECTS THE SUBJECT TRACT. BOOK 2911 PAGE 114 IS THE NOTE OF AGREED MEETING LOT OWNERS TO AMEND, CHANGE, AND MODIFY THE RESTRICTION INDENTURE OF HEATHER HILL FIRST ADDITION AND AFFECTS THE SUBJECT TRACT. BOOK 2993 PAGE 289 IS HEATHER HILL FIRST ADDITION RESTRICTION INDENTURE AND AFFECTS THE SUBJECT TRACT. BOOK 7304 PAGE 1671 IS THE AMENDMENT TO RESTRICTION INDENTURE AND AFFECTS THE SUBJECT TRACT. BOOK 10602 PAGE 879 IS RESTATED RESTRICTION INDENTURE OF HEATHER HILL PLAT 3 SUBDIVISION AND DOES NOT AFFECT THE SUBJECT TRACT. BOOK 13598 PAGE 8206 IS RESTATED RESTRICTION INDENTURE OF HEATHER HILL FIRST ADDITION SUBDIVISION AND AFFECTS THE SUBJECT TRACT.
- ITEM 7: EASEMENT GRANTED TO ST. LOUIS COUNTY WATER CO. AS RECORDED IN BOOK 2844 PAGE 548 OF THE ST. LOUIS COUNTY RECORDS.
- WATER EASEMENTS PER BOOK 2844 PAGE 548 ARE WITHIN THE RIGHT-OF-WAY OF STACY DRIVE AND DO NOT AFFECT THE SUBJECT TRACT.
- ITEM 8: EASEMENT GRANTED TO LACLEDE GAS COMPANY AS RECORDED IN BOOK 2844 PAGE 591 OF THE ST. LOUIS COUNTY RECORDS.
- GAS EASEMENTS PER BOOK 2844 PAGE 591 ARE WITHIN THE RIGHT-OF-WAY OF STACY DRIVE AND ALL EASEMENTS AS SHOWN ON THE RECORD PLAT, AND AFFECT THE SUBJECT TRACT AS SHOWN HEREON.
- ITEM 9: EASEMENT GRANTED TO UNION ELECTRIC COMPANY AS RECORDED IN BOOK 2870 PAGE 238 OF THE ST. LOUIS COUNTY RECORDS.
- ELECTRIC EASEMENTS PER BOOK 2870 PAGE 238 ARE WITHIN THE RIGHT-OF-WAY OF STACY DRIVE AND ALL EASEMENTS AS SHOWN ON THE RECORD PLAT, AND AFFECT THE SUBJECT TRACT AS SHOWN HEREON.
- ITEM 10: EASEMENT GRANTED TO UNION ELECTRIC COMPANY AS RECORDED IN BOOK 2909 PAGE 284 OF THE ST. LOUIS COUNTY RECORDS.
- ELECTRIC EASEMENTS PER BOOK 2909 PAGE 284 ARE WITHIN THE RIGHT-OF-WAY OF STACY DRIVE AND ALL EASEMENTS AS SHOWN ON THE RECORD PLAT, AND AFFECT THE SUBJECT TRACT AS SHOWN HEREON.
- ITEMS 11-15 GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.

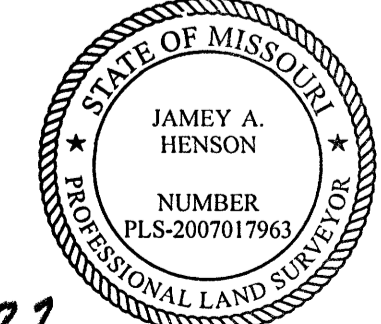
Plot Plan Prepared by  
 THE STERLING COMPANY (314) 487-0440

- Notes:
1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
  2. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 8 inches from the ground shall be pressure treated in accordance with Section R301.1.
  3. Grade shall be noted to slope away from foundation a minimum of a 2 inch drop within the first 10 feet or to a swale.
  4. Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
  5. This plot plan conforms to "CITY OF OLIVETTE CODE".
  6. Elevation Examples: 714.0(E)-Existing Elevation, 714.0(P)-Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (2 CSR 90-60 AND 20 CSR 2030-16).

THE STERLING COMPANY  
 MO. REG. 307-D

JAMEY A. HENSON, P.L.S.  
 MO. REG. L.S. #2007017963  
 DATE 1-6-2022



MSD Base Map 17M3  
 MSD P #  
 Highway & Traffic #



CALL BEFORE  
 YOU DIG!  
 1-800-DIG-RITE

SHEET INDEX

- 1.1 DEMOLITION PLAN / EXISTING CONDITIONS
- 2.1 SITE / GRADING PLAN
- 3.1 DRAINAGE AREA MAPS

EXISTING UTILITIES NOTES

1. ALL DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
2. CONTRACTOR IS RESPONSIBLE TO CONTACT AND IDENTIFY ALL UTILITIES AND PERFORM WORK IN A SAFE AND RESPONSIBLE MANNER.
3. THE SERVICEABILITY OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER. ANY AND ALL REQUIREMENTS FOR EXISTING OR PROPOSED FLOW RATES, FIRE PROTECTION, CONNECTION FEES OR REQUIRED STUDIES ARE NOT THE RESPONSIBILITY OF THE STERLING COMPANY.
4. THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR CONTRACTOR'S WORK OR FOR ANY WORK NOT SPECIFICALLY MENTIONED.

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO

BENCHMARK:  
 BENCHMARK TOP OF SANITARY MANHOLE ELEVATION 674.64  
 TOP OF SANITARY MANHOLE (17M3-0625) ON MSD BASE MAP #17M INSIDE THE CUL-DE-SAC OF STACY DRIVE AS SHOWN HEREON.

ISSUE	REMARKS/DATE
1	
2	
3	

Bozich Construction Inc.  
 955 Revere Drive  
 St. Louis, MO 63141  
 (314) 378-1559

THE STERLING CO.  
 ENGINEERS & SURVEYORS  
 5055 New Baumgartner Road  
 St. Louis, Missouri 63129  
 Ph: 314-487-0440 Fax: 314-487-8944  
 Corporate Certificate of Authority #001348

#15 STACY DRIVE  
 OLIVETTE, MISSOURI 63132

Date: 12/02/2021  
 Designed: HHH Sheet  
 Drawn: HHH 1.1  
 Checked: MGB PP

Job Number: 21-04-100  
 Date: 12/02/2021  
 Designed: HHH Sheet  
 Drawn: HHH 1.1  
 Checked: MGB PP